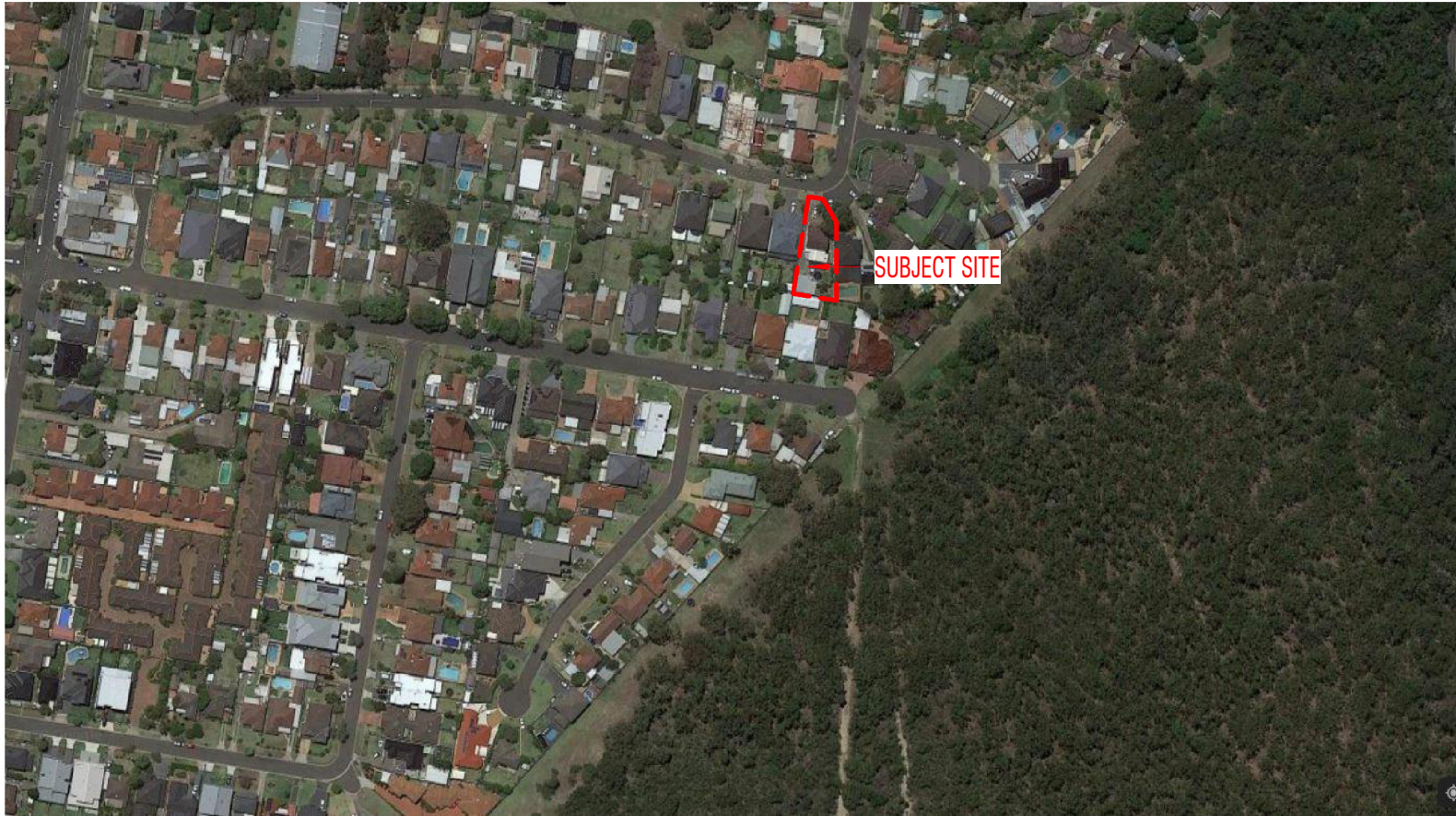


DEVELOPMENT MODIFICATION APPLICATION

40 THOMAS STREET, PICNIC POINT

DRAWING LIST

NO.	DRAWING NAME
A0.01	COVER
A0.02	BASIX REQUIREMENTS
A0.04	DEMOLITION & SEDIMENT CONTROL PLAN
A1.01	SITE/ROOF PLAN
A1.03	FLOOR PLAN - GROUND
A1.04	FLOOR PLAN - LEVEL 1
A3.01	EXTERNAL ELEVATIONS 1
A3.02	EXTERNAL ELEVATIONS 2
A3.03	SECTIONS
A4.01	SCHEDULE OF COLOURS & FINISHES
A4.04	LANDSCAPE AREA CALCULATION
A5.01	SHADOW DIAGRAMS



LOCATION PLAN - NTS

FOR INFORMATION ONLY
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This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

This certificate is a revision of certificate number 1312142S lodged with the consent authority or certifier on 21 June 2022 with application DA-472/2022.

It is the responsibility of the applicant to verify with the consent authority that the original, or any revised certificate, complies with the requirements of Schedule 1 Clause 2A, 4A or 6A of the Environment Planning and Assessment Regulation 2000

Secretary
Date of issue: Thursday, 19 December 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	40 Thomas St Picnic Point HEC0709_02	
Street address	40 THOMAS STREET PICNIC POINT 2213	
Local Government Area	Canterbury-Bankstown Council	
Plan type and plan number	Deposited Plan 29657	
Lot no.	7	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	4	
Project score		
Water	✓ 40	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 50	Target 50
Materials	✓ -1	Target n/a

Certificate Prepared by		
Name / Company Name: House Energy Certified		
ABN (if applicable): 81601166561		

Description of project

Project address	
Project name	40 Thomas St Picnic Point HEC0709_02
Street address	40 THOMAS STREET PICNIC POINT 2213
Local Government Area	Canterbury-Bankstown Council
Plan type and plan number	Deposited Plan 29657
Lot no.	7
Section no.	-
Project type	
Project type	separate dwelling house
No. of bedrooms	4
Site details	
Site area (m²)	626
Roof area (m²)	319
Conditioned floor area (m²)	261.0
Unconditioned floor area (m²)	23.0
Total area of garden and lawn (m²)	160
Roof area of the existing dwelling (m²)	0

Assessor details and thermal loads		
Assessor number	DMN/18/1851	
Certificate number	0011637592-01	
Climate zone	56	
Area adjusted cooling load (MJ/ m²·year)	18	
Area adjusted heating load (MJ/ m²·year)	39	
Ceiling fan in at least one bedroom	No	
Ceiling fan in at least one living room or other conditioned area	No	
Project score		
Water	✔ 40	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 50	Target 50
Materials	✔ -1	Target n/a

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The swimming pool must not have a volume greater than 22 kilolitres.	✓	✓	
The swimming pool must be outdoors.	✓	✓	

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 4 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3500 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 319 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
The applicant must connect the rainwater tank to: <ul style="list-style-type: none">all toilets in the developmentat least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)a tap that is located within 10 metres of the swimming pool in the development		✓	✓
Swimming Pool			

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
Floor and wall construction		Area	
floor - concrete slab on ground		All or part of floor area square metres	

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric storage.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2.5 Star (old label)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2 Star (old label)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning. Energy rating: 2.5 Star (old label)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning. Energy rating: 2.5 Star (old label)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development: At least 1 Bathroom: individual fan, ducted to facade or roof; Operation control: manual switch on/off Kitchen: individual fan, ducted to facade or roof; Operation control: manual switch on/off Laundry: individual fan, ducted to facade or roof; Operation control: manual switch on/off			
		✓	✓
		✓	✓
		✓	✓
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps: <ul style="list-style-type: none">at least 4 of the bedrooms / study; dedicated		✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• at least 1 of the living / dining rooms; dedicated		✓	✓
• the kitchen; dedicated		✓	✓
• all bathrooms/toilets; dedicated		✓	✓
• the laundry; dedicated		✓	✓
• all hallways; dedicated		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓
The applicant must install a window and/or skylight in 3 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Swimming pool			
The applicant must install the following heating system for the swimming pool in the development (or alternatively must not install any heating system for the swimming pool): electric heat pump		✓	
Alternative energy			
The applicant must install a photovoltaic system with the capacity to generate at least 3.7 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.

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NOMINATED ARCHITECT: ANDREW COSTI 10973 , ACN 641619598

MOD1 10/12/24 ASC For Information
Rev. Date Approved by Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
BASIX REQUIREMENTS

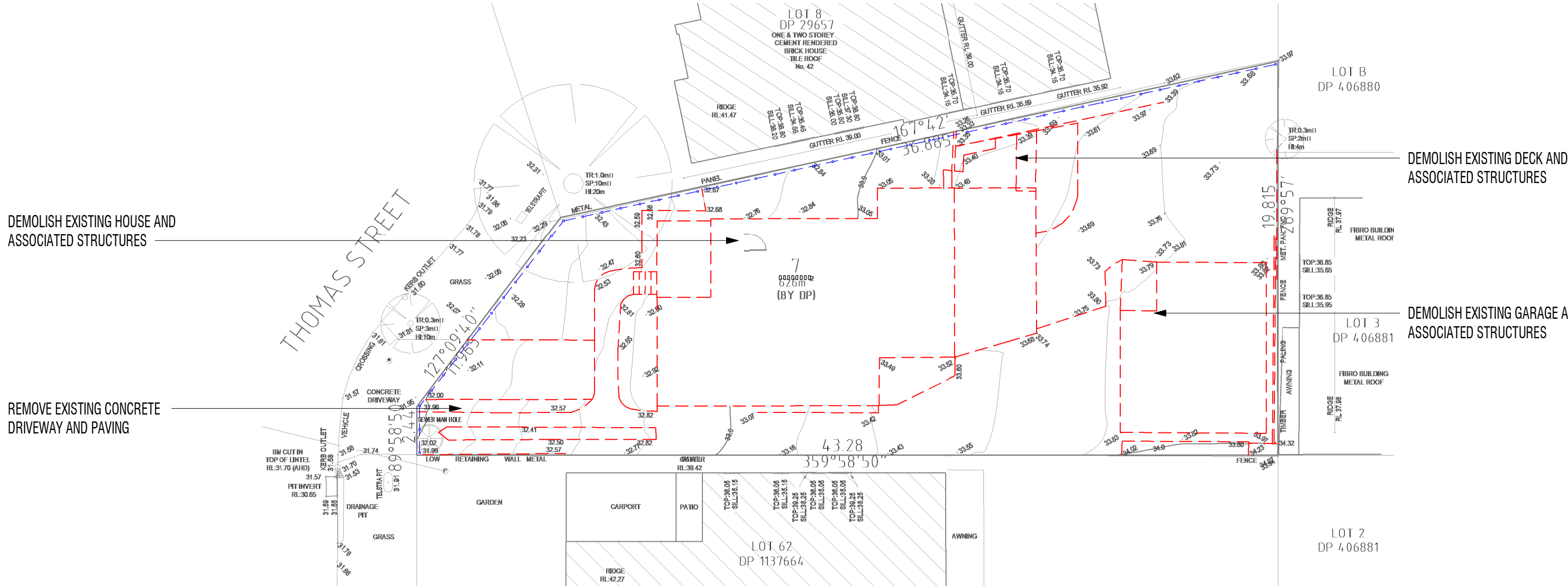
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Project No. A22005
Sheet No. A0.02
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Rev. MOD1
North

Development Modification Application

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DEMOLISH EXISTING HOUSE AND ASSOCIATED STRUCTURES

REMOVE EXISTING CONCRETE DRIVEWAY AND PAVING

DEMOLISH EXISTING DECK AND ASSOCIATED STRUCTURES

DEMOLISH EXISTING GARAGE AND ASSOCIATED STRUCTURES



SOIL CONSERVATION NOTES

A. PRIOR TO ANY CLEARING OR EXCAVATION AT THE PROJECT SITE, A TEMPORARY SEDIMENT TRAP ARRANGEMENT SHALL BE MADE TO ENSURE THE CAPTURE OF ANY WATER BORNE MATERIAL GENERATED FROM THE SITE.

PROVIDE SEDIMENT FENCE AS SHOWN ON PLAN.

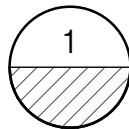
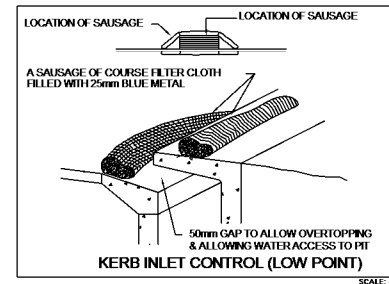
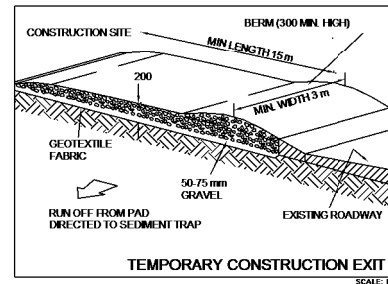
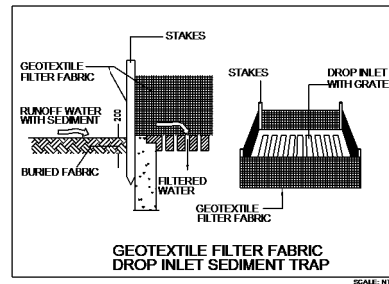
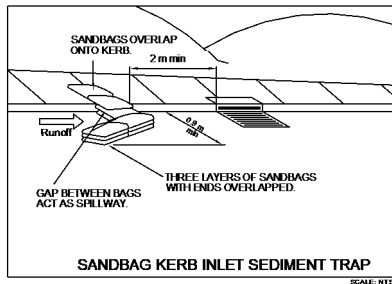
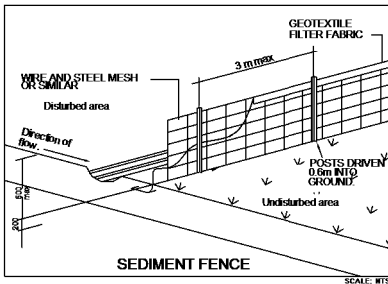
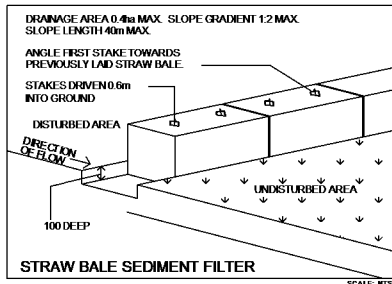
CONSTRUCT STEEL SHAKER GRID SIMILAR TO CATTLE FROM STEEL BEDDED ON 50 - 75mm GRAVEL AND AND GEOTEXTILE ACROSS MAIN ACCESS TO SITE AND MAINTAIN UNTIL ALL SURFACES HAVE BEEN REVEGETATED AND PAVED

B. DURING CONSTRUCTION

- 1) SILTATION PROTECTION DESCRIBED ABOVE SHALL BE MAINTAINED DURING THE COURSE OF CONSTRUCTION.
- 2) NEWLY CONSTRUCTED PITS SHALL BE PROTECTED FROM ANY SEDIMENT ENTRY.
- 3) ONCE IN PLACE, NO SILTATION PROTECTION SHALL BE REMOVED WITHOUT COUNCIL APPROVAL.
- 4) AFTER EACH STORM, ALL SEDIMENT TRAPS SHALL BE CLEANED AND REPLACED (IF REQUIRED) TO COUNCIL'S SATISFACTION.
- 5) OTHER METHODS OF SEDIMENT CONTROL AS MAY BE REQ'D BY THE COUNCIL SHALL BE COMPLIED WITH.

LEGEND:

- DEMOLISHED
- GEOTEC FABRIC FENCE LINE DURING CONSTRUCTION



DEMOLITION & SEDIMENT CONTROL PLAN

1 : 200

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NOMINATED ARCHITECT: ANDREW COSTI 10973, ACN 641619598

MOD1 10/12/24 ASC For Information
Rev. Date Approved by Revision Notes

Client

MR & MRS TAORO

Project Title

40 THOMAS STREET, PICNIC POINT

Drawing Title

DEMOLITION & SEDIMENT CONTROL PLAN

Scale

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Status

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A22005

Sheet No.

A0.04

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Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
SITE/ROOF PLAN

Development Modification Application

Scale
1 : 200 @A3
Status

Project No.
A22005
Sheet No.
A1.01

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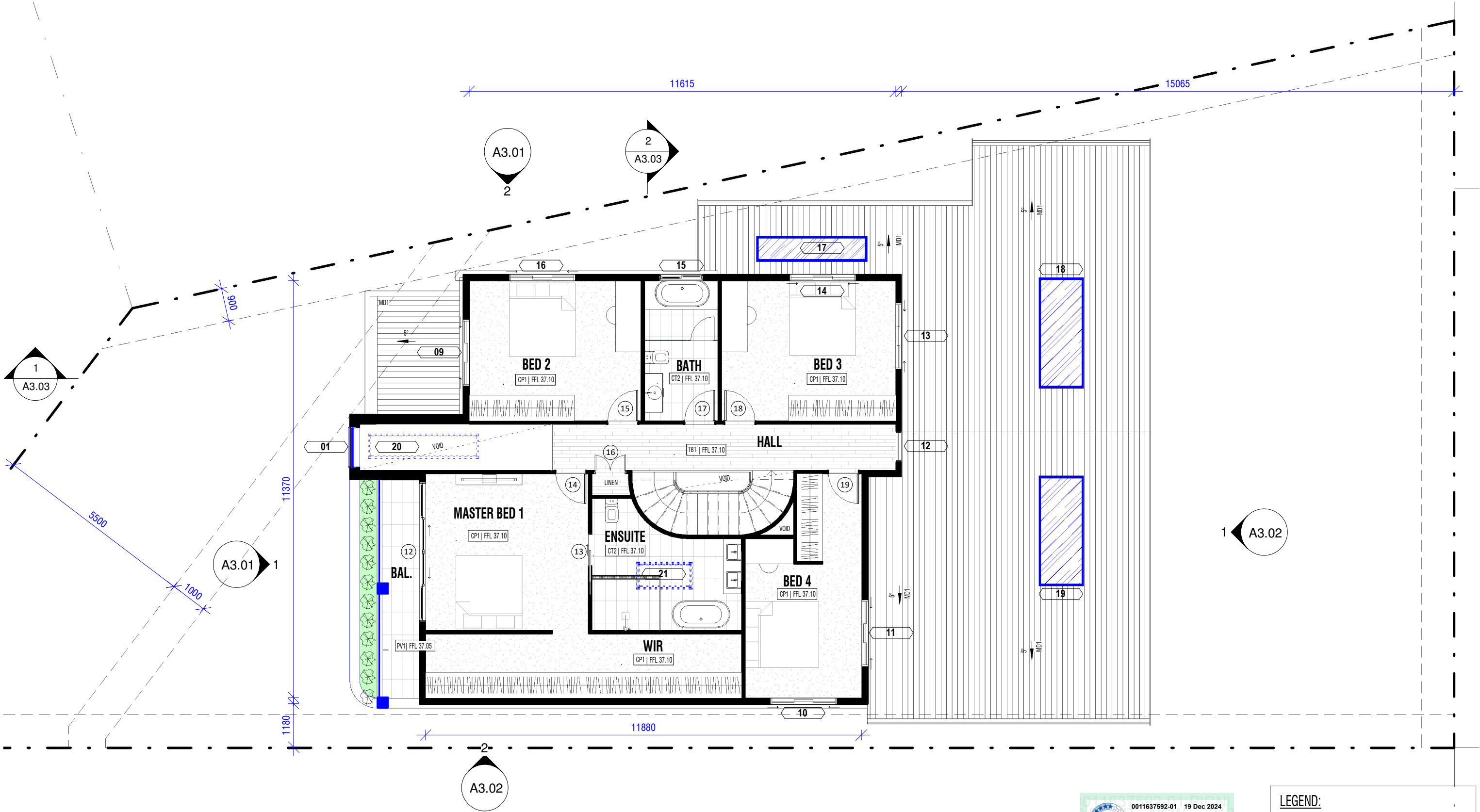
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LEGEND:

- DA-472/2022 APPROVED
- PROPOSED MODIFICATION



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MOD1	10/12/24	ASC	For Information
Rev.	Date	Approved by	Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
FLOOR PLAN - LEVEL 1

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LEGEND:
— DA-472/2022 APPROVED
— PROPOSED MODIFICATION

Scale
As indicated @A3
Status

Development Modification Application

Project No.
A22005
Sheet No.
A1.04

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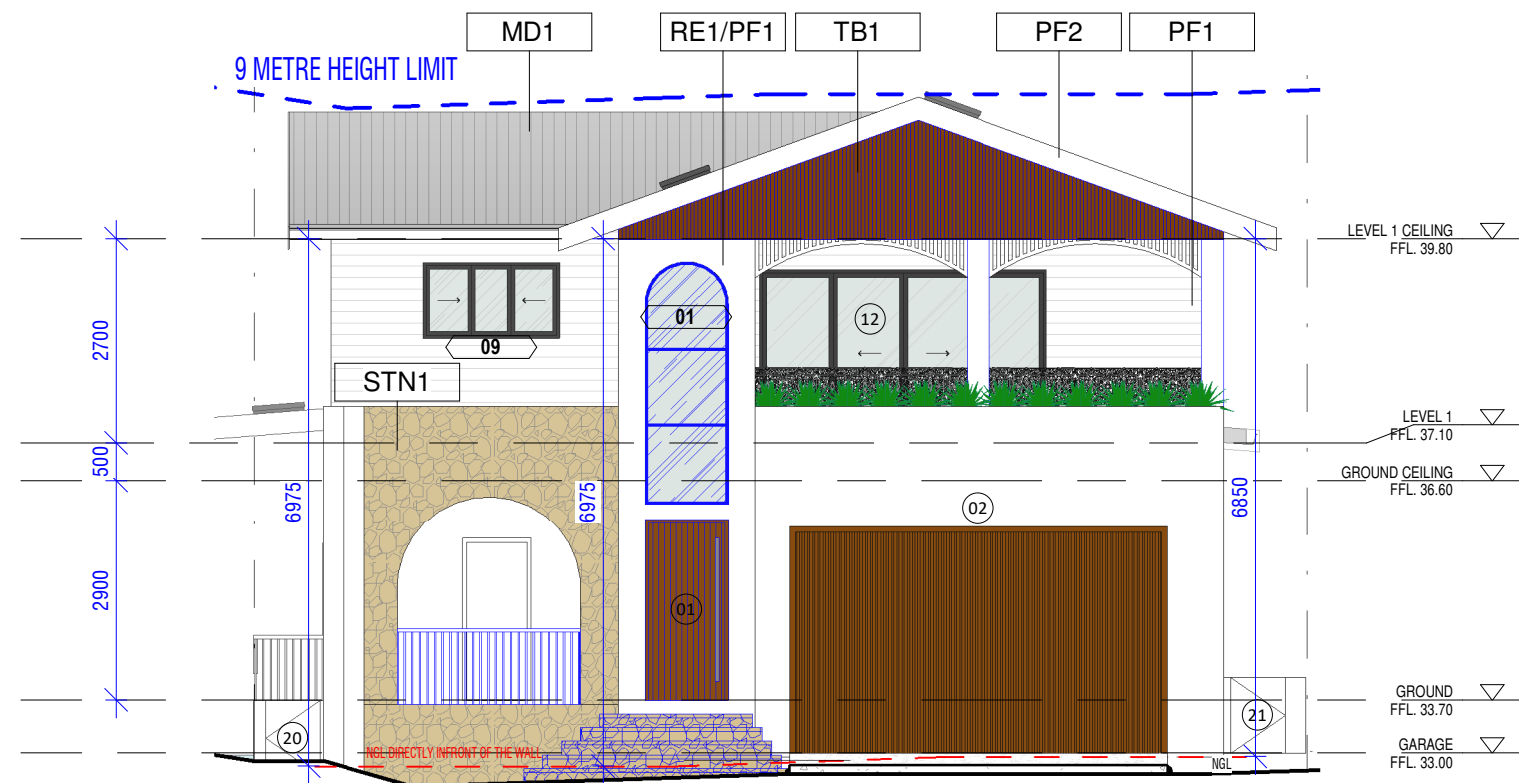


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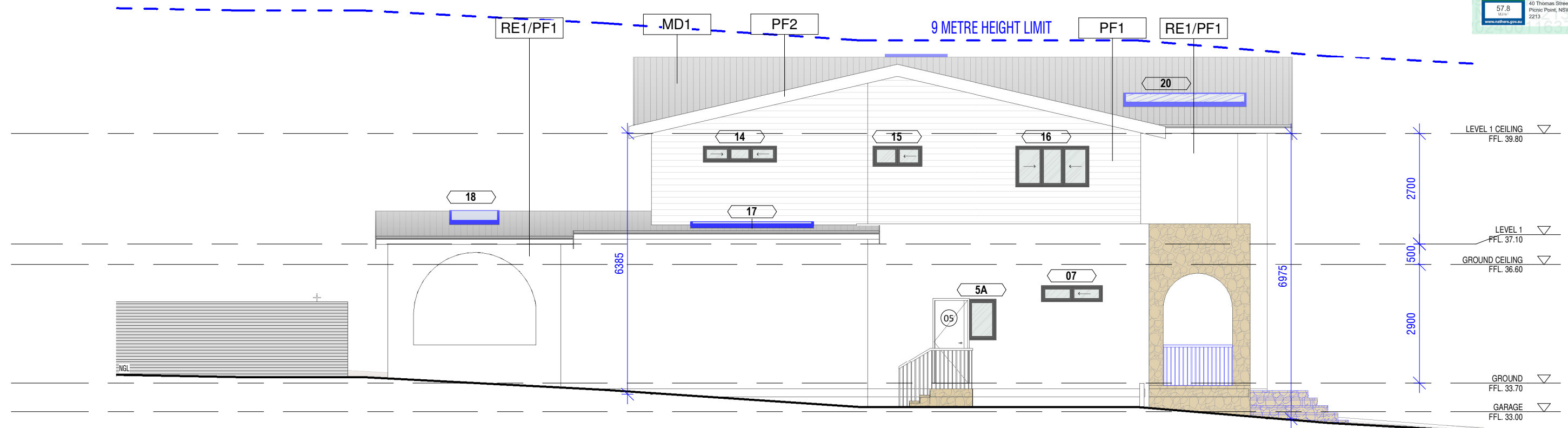
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ABBRV.	DESCRIPTION
MD1	COLORBOND STEEL ROOF
PF1	PAINT FINISH (COLOUR:WHITE DUCK)
PF2	PAINT FINISH (COLOUR:VIVID WHITE)
RE1/PF1	CEMENT RENDER WITH PAINT FINISH
STN1	SANDSTONE CLADDING
TB1	TIMBER BATTEN



1 NORTH ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100

MR & MRS TAORO

EXTERNAL ELEVATIONS 1

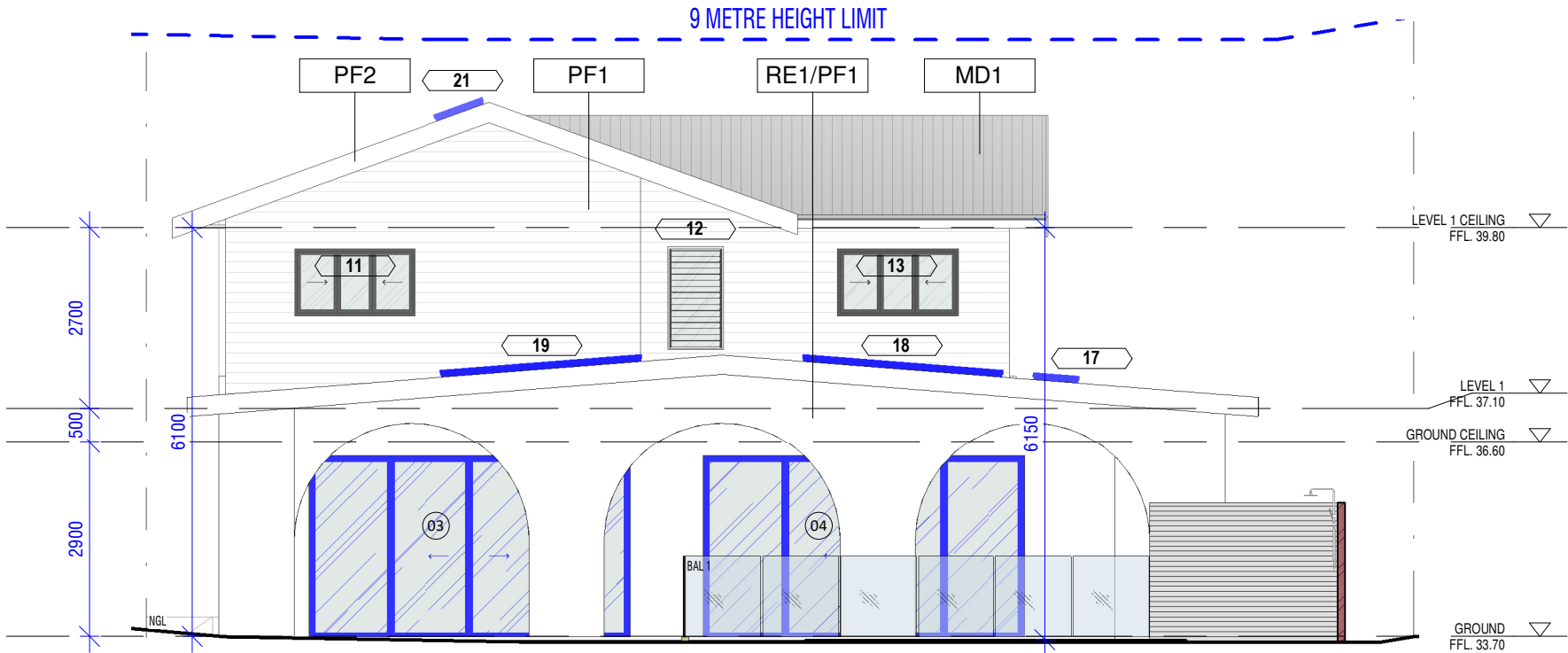
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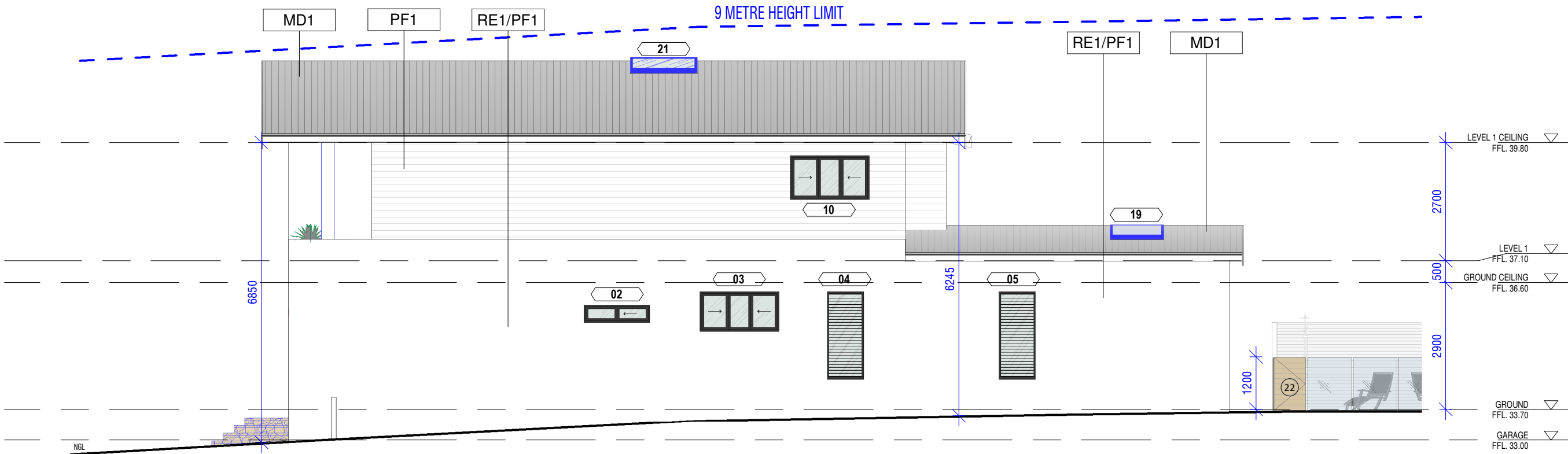
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ABBREVIATION

ABBRV.	DESCRIPTION
MD1	COLORBOND STEEL ROOF
PF1	PAINT FINISH (COLOUR:WHITE DUCK)
PF2	PAINT FINISH (COLOUR:VIVID WHITE)
RE1/PF1	CEMENT RENDER WITH PAINT FINISH
STN1	SANDSTONE CLADDING
TB1	TIMBER BATTEN



1 SOUTH ELEVATION
1 : 100



2 WEST ELEVATION
1 : 100



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NOMINATED ARCHITECT: ANDREW COSTI 10973 , ACN 641619598

MOD1	10/12/24	ASC	For Information
Rev.	Date	Approved by	Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
EXTERNAL ELEVATIONS 2

Scale
1 : 100 @A3

Status
Development Modification Application

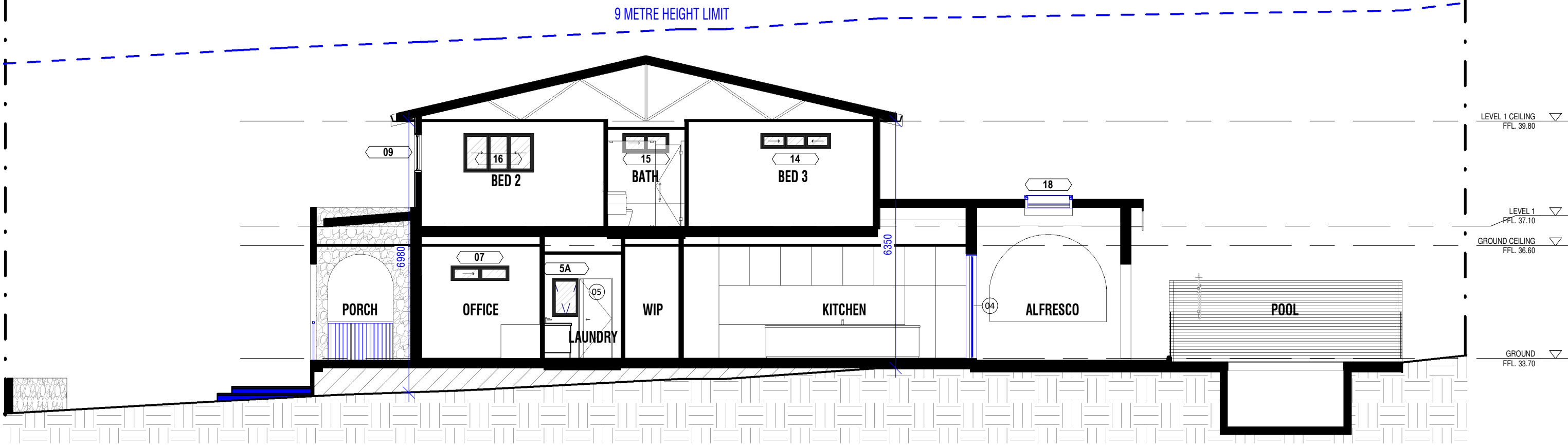
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A3.02

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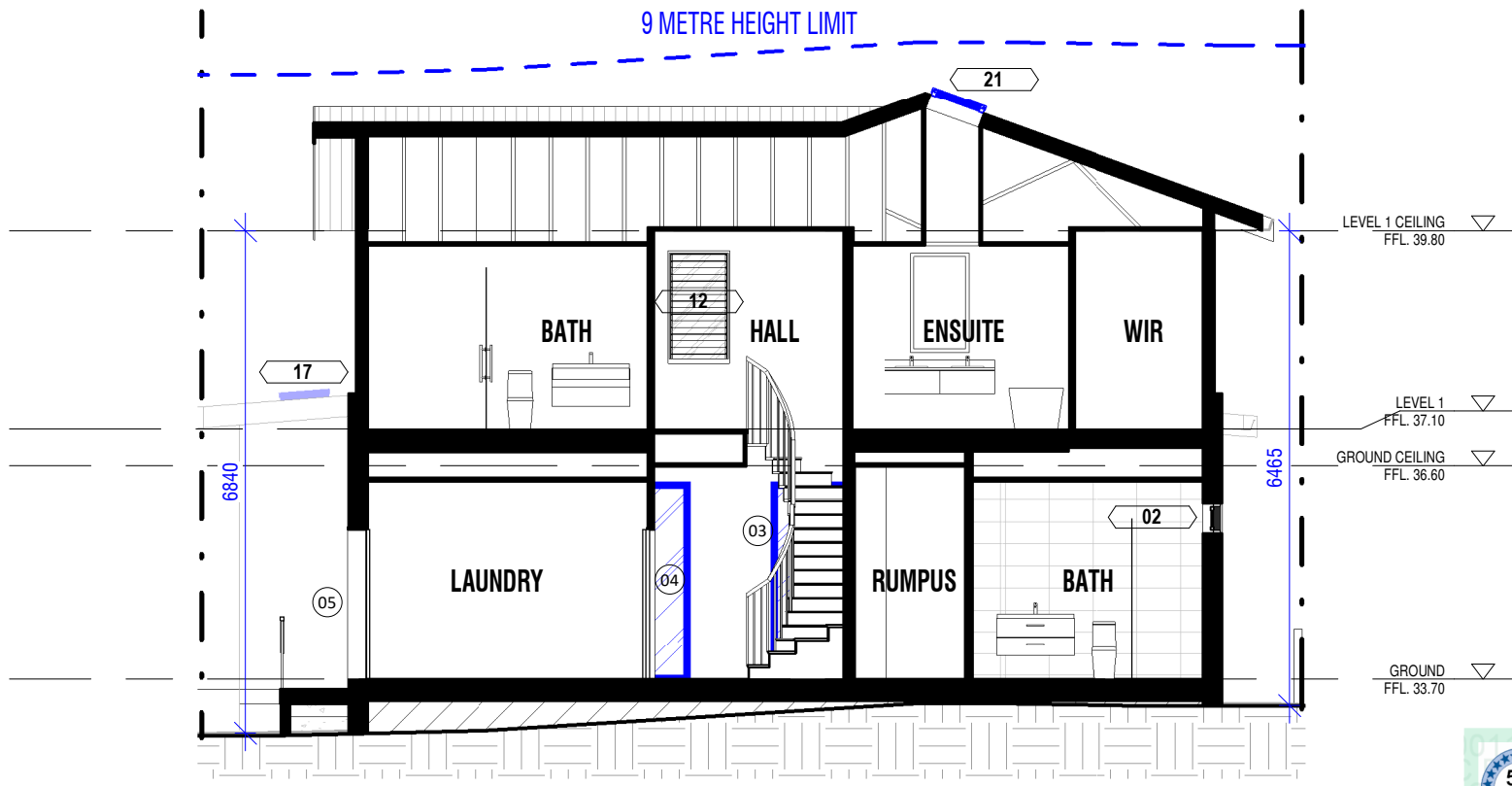
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1
SECTION 1
1 : 100



2
SECTION 2
1 : 100

Project:	Address:	40 Thomas Street Picnic Point NSW 2213		File Ref:	HEC0709a
Applicant:	Name:	Mr & Mrs Taoro		Designer:	Costi Architects
Assessor:	Name:	Paul Gradwell		Company:	House Energy Certified
	Address:	PO BOX 3136 Tamarama NSW 2026		Number:	DMN/18/1851
	Contact:	02 9130 2068		Email:	paul@houseenergycertified.com
Ext. Walls:	Construction	Insulation	Colour	Details	
	Cavity Brick	25mm Kooltherm K8 or equiv (R1.1)	Light	As per plans	
	Weatherboard	R2.5 added	Light	As per plans	
Int. Walls:	Construction	Insulation	Details		
	Single Brick	R2.5 added	To garage		
	Plasterboard on Stud	None	As per plans		
Floors:	Construction	Insulation	Details		
	Concrete	R2.5 added	Above garage		
	Concrete	R0.7 added	To slab edge		
Ceilings:	Construction	Insulation	Details		
	Plasterboard	R4.0 bulk	As per plans		
Roof:	Construction	Insulation	Colour	Details	
	Concrete	None	Medium	As per plans	
	Metal Deck	60mm Anticon (R1.3)	Light	As per plans	
Windows:	Product ID	Glass	Frame	Uw/SHGCw	Details
Group B	ALM-002-01 A	Single Clear	Aluminium	6.7/0.70	Fixed, Louvre, Sliding
Skylights:	Product ID	Glass	Type	Uw/SHGCw	Details
	DG-Generic	Double Clear	Roof Light	4.2/0.72	As per plans
Other:	Orientation	Terrain	Rangehood	Recessed Downlights	Software Version
	90	Suburban	Ducted	Sealed LED - 1 per 2.5m ²	Bers Pro 4.4



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NOMINATED ARCHITECT: ANDREW COSTI 10973 , ACN 641619598

MOD1	10/12/24	ASC	For Information
Rev.	Date	Approved by	Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

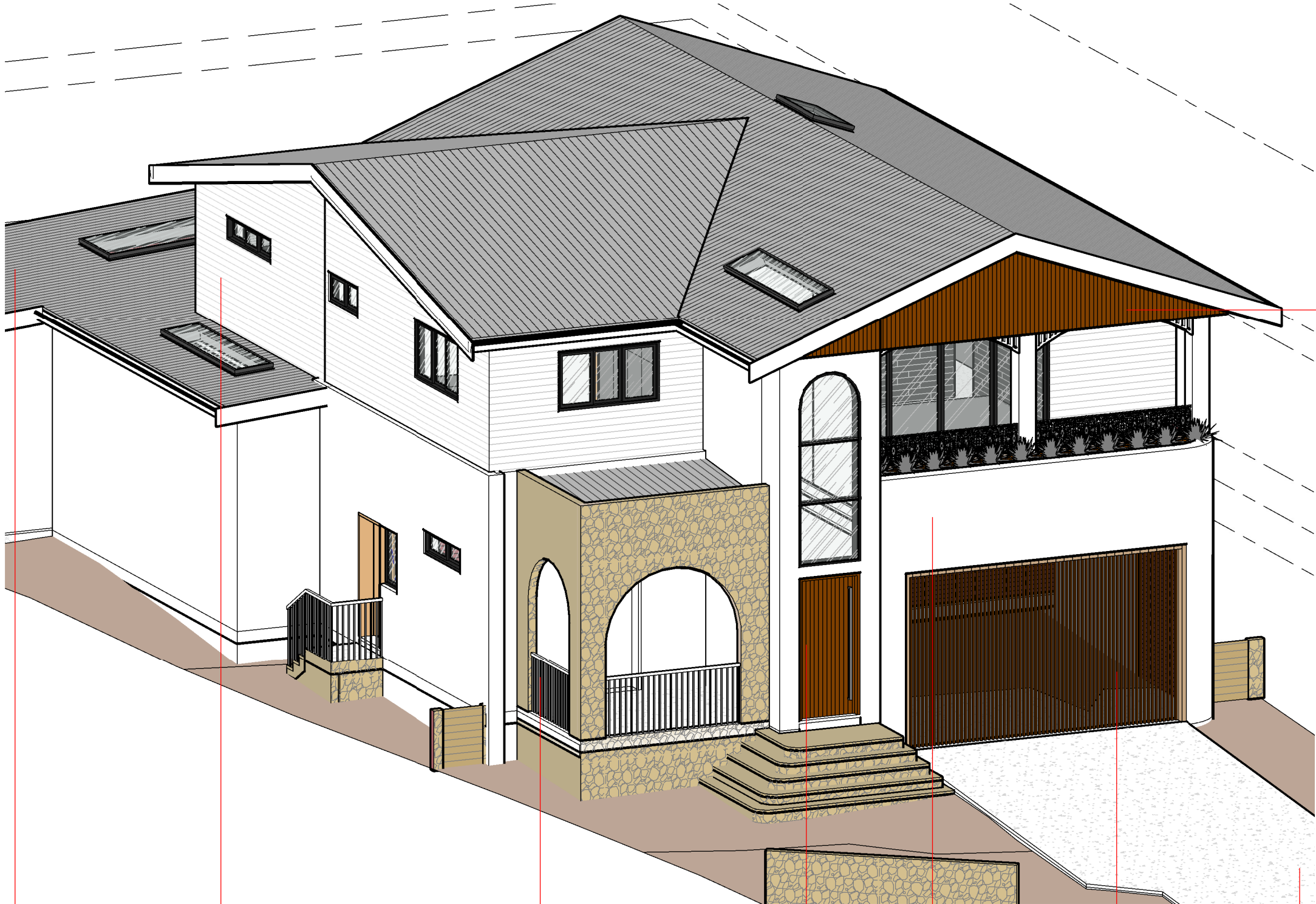
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Status	Sheet No.	Rev.	
Development Modification Application	A3.03	MOD1	

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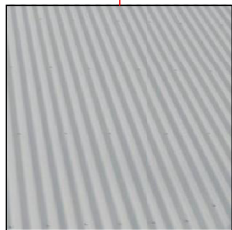
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TIMBER LOOK BATTEN

SCHEDULE OF COLOURS & FINISHES



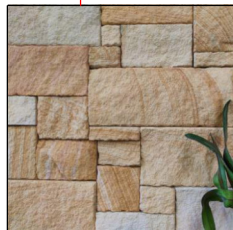
COLORBOND ROOFING (COLOUR: LIGHT GREY)



WEATHERBOARDS (COLOUR: LIGHT GREY)



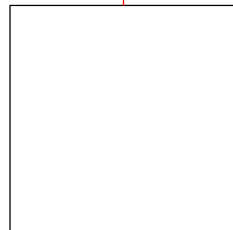
ALUMINIUM WINDOW/DOOR FRAME (COLOUR: BLACK)



SANDSTONE CLADDING



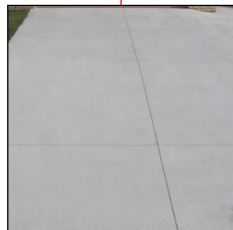
ENTRY DOOR (COLOUR: TIMBER LOOK)



PAINT FINISH (COLOUR: WHITE)



GARAGE DOOR (COLOUR: TIMBER LOOK)



CONCRETE (BRUSHED FINISH)



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NOMINATED ARCHITECT: ANDREW COSTI 10973, ACN 641619598

MOD1 10/12/24 ASC For Information
Rev. Date Approved by Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
SCHEDULE OF COLOURS & FINISHES

Scale
NOT TO SCALE @A3
Status
Development Modification Application

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Project No.
A22005
Sheet No.
A4.01

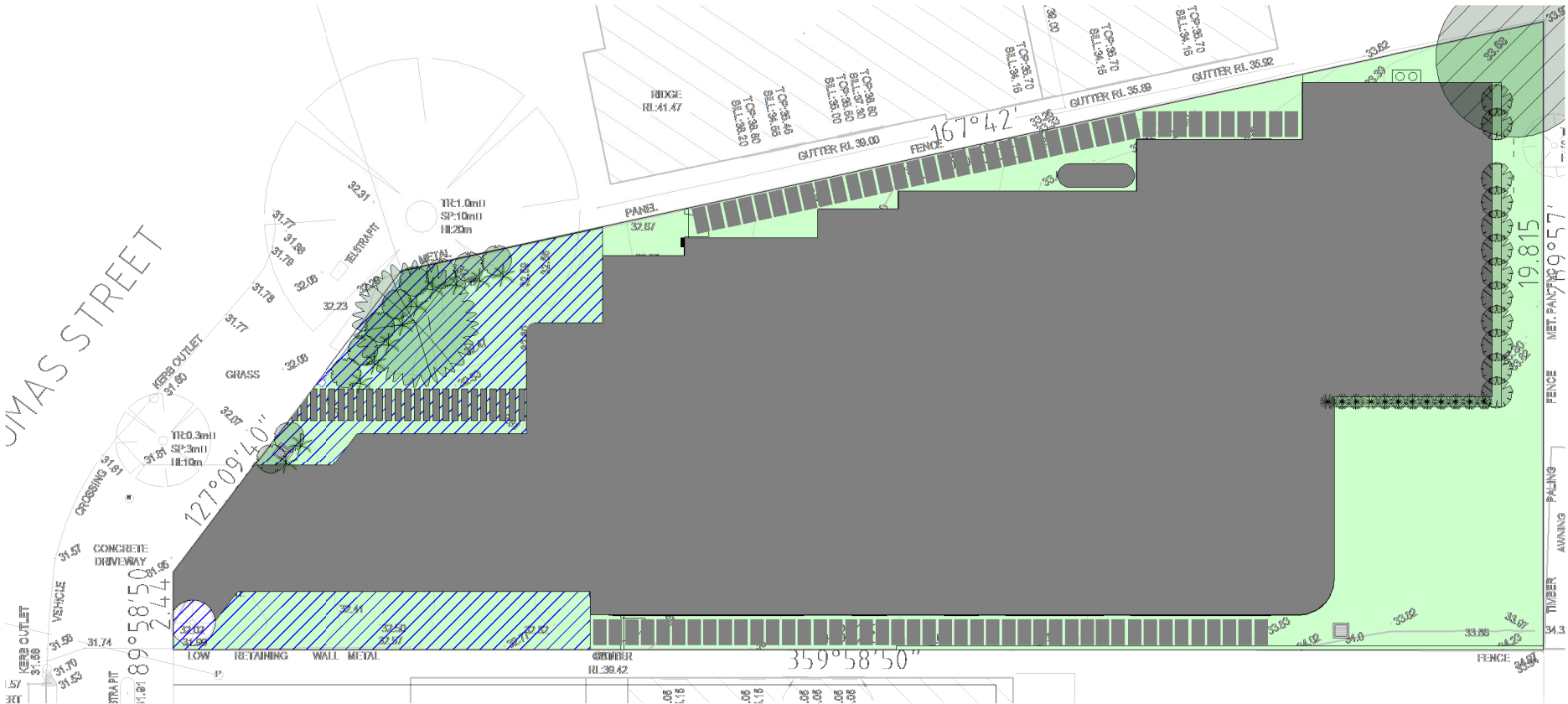
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Ryde NSW 2112

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Rev.
MOD1

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IMPERVIOUS & PERVIOUS AREA SUMMARY:

TOTAL SITE AREA	626 m ²
MAXIMUM IMPERVIOUS AREA	469.5m ² = 75% OF SITE AREA
PROPOSED IMPERVIOUS AREA	455.6m ² = 72.8% OF SITE AREA



FRONT SETBACK LANDSCAPING SUMMARY:

TOTAL FRONT SETBACK AREA	127.1 m ²
IMPERVIOUS AREA	67.63m ² = 53.2% OF FRONT SETBACK
LANDSCAPED AREA	59.47m ² = 46.8% OF FRONT SETBACK



LEGEND:

- IMPERVIOUS AREA
- LANDSCAPE (PERVIOUS) AREA
- LANDSCAPE AREA IN FRONT SETBACK

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MOD1	10/12/24	ASC	For Information
Rev.	Date	Approved by	Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
LANDSCAPE AREA CALCULATION

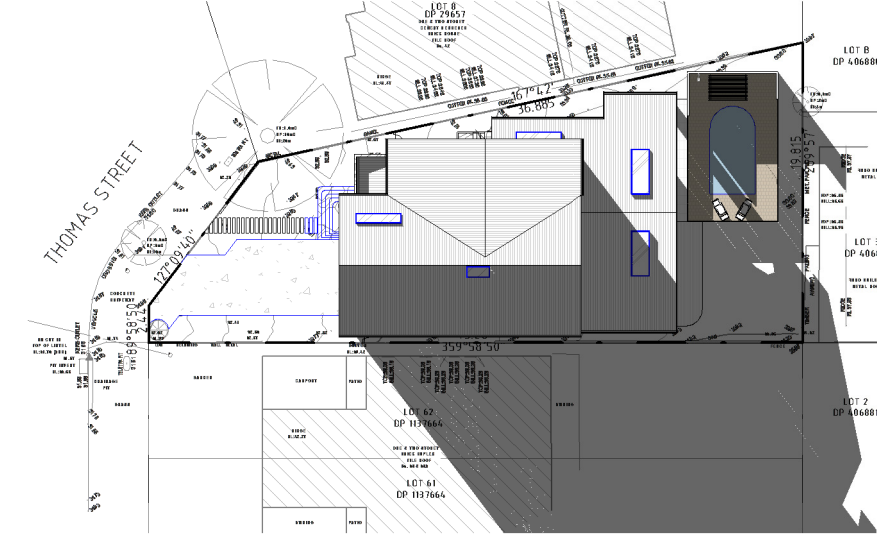
Scale
As indicated @A3
Status
Development Modification Application

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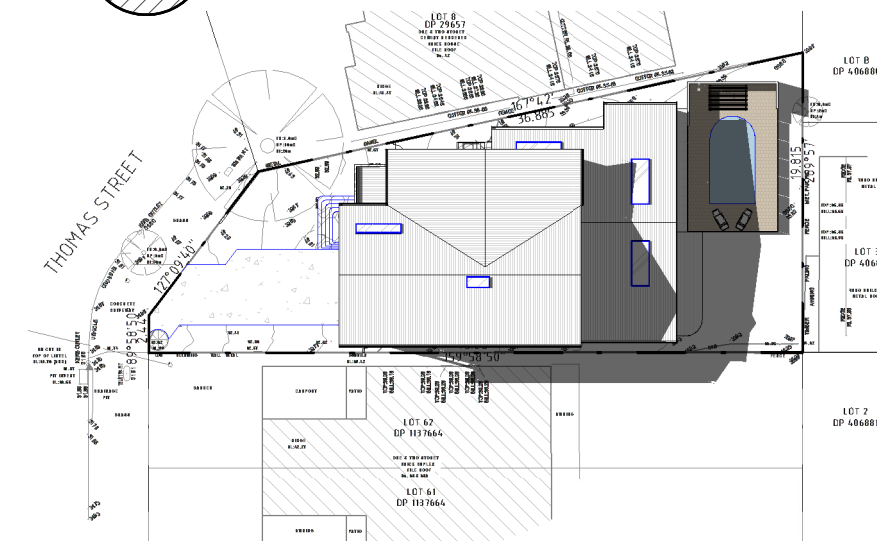
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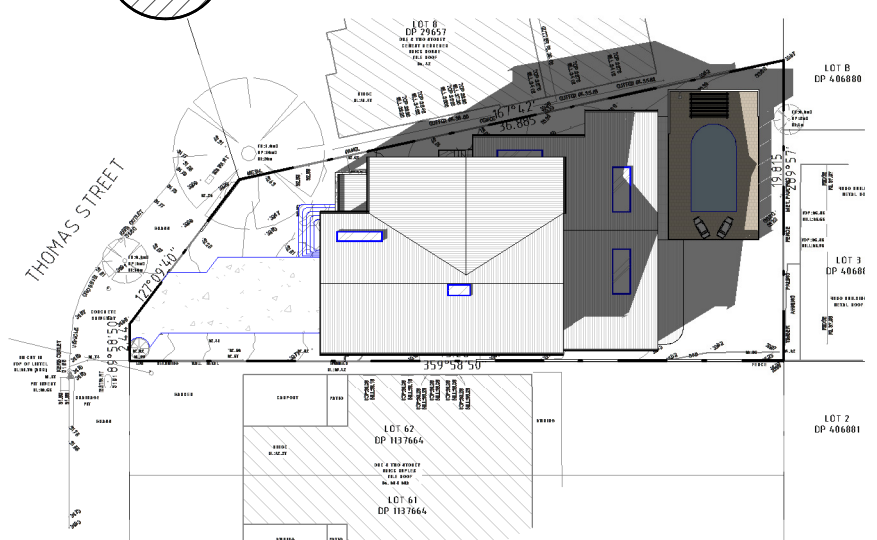
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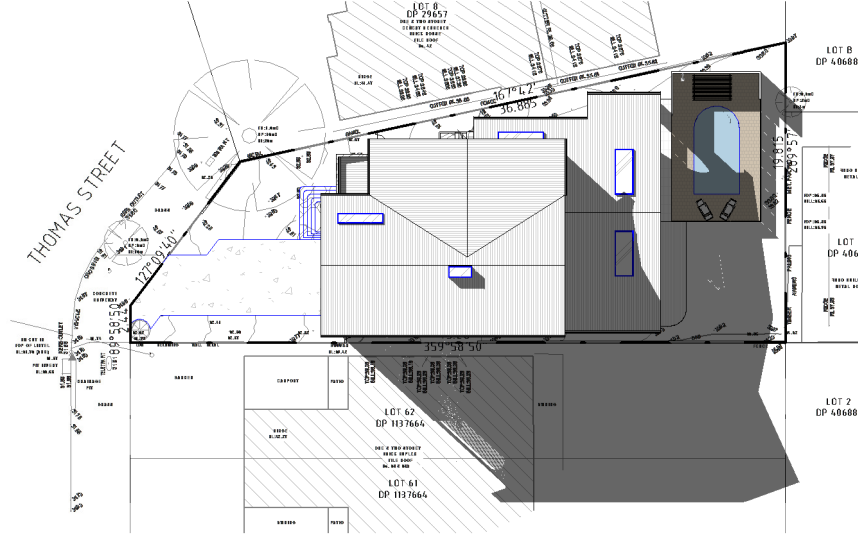
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1 : 500



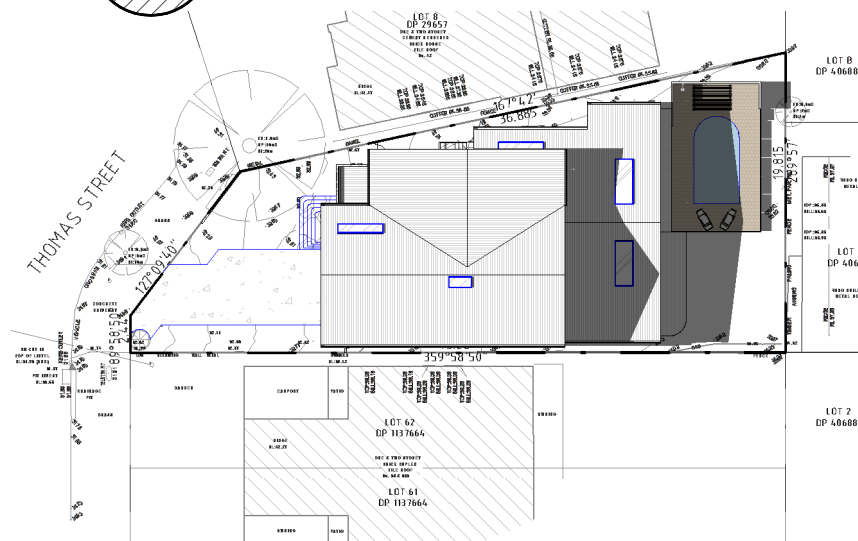
4 SHADOW DIAGARAM - WINTER SOLSTICE - 11AM
1 : 500



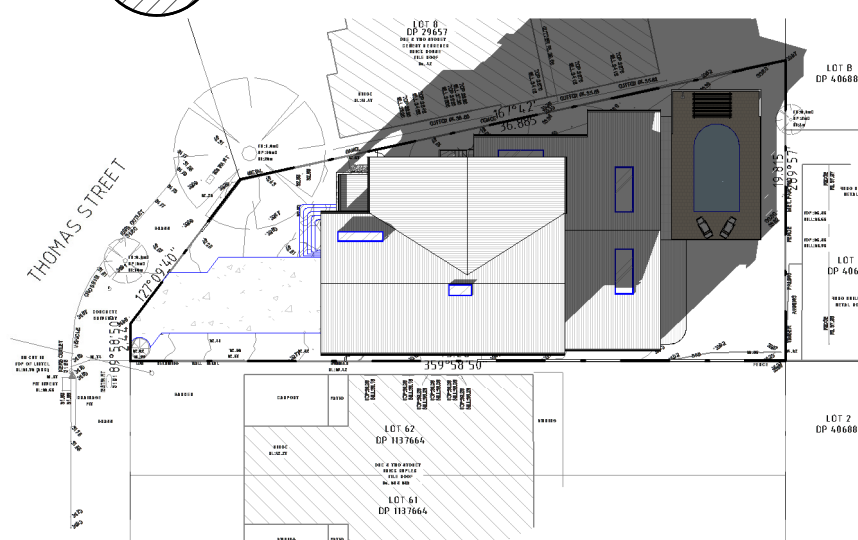
7 SHADOW DIAGARAM - WINTER SOLSTICE - 2PM
1 : 500



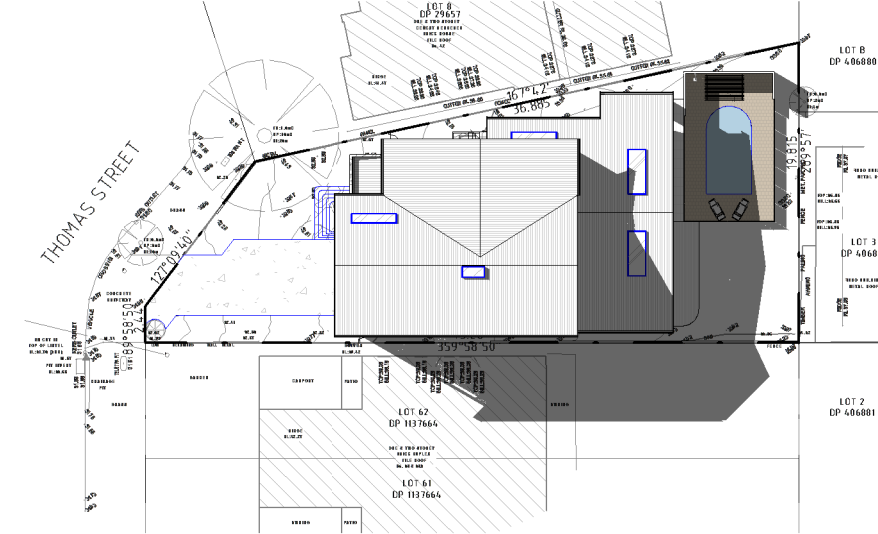
2 SHADOW DIAGARAM - WINTER SOLSTICE - 9AM
1 : 500



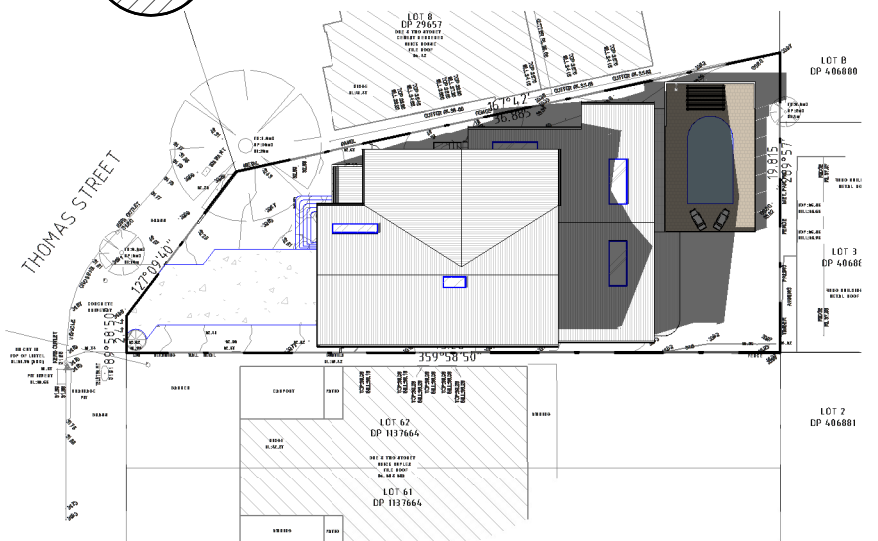
5 SHADOW DIAGARAM - WINTER SOLSTICE - NOON
1 : 500



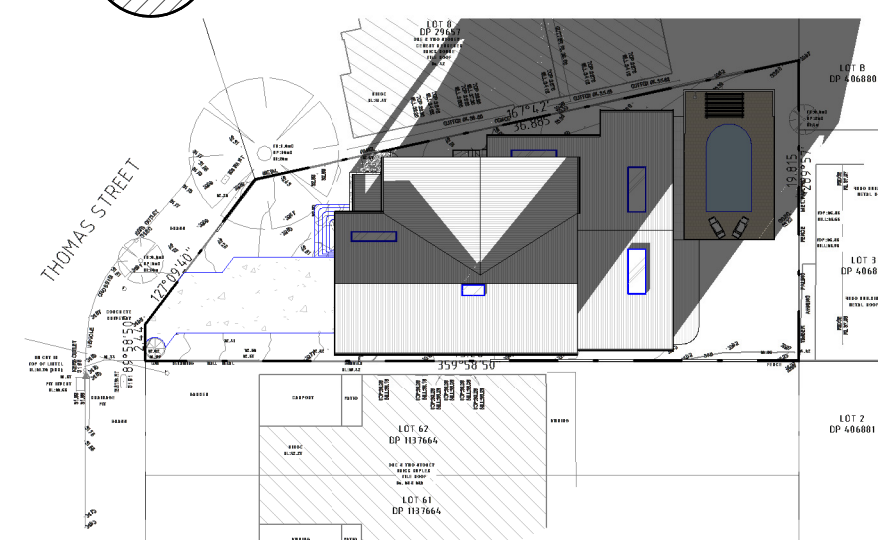
8 SHADOW DIAGARAM - WINTER SOLSTICE - 3PM
1 : 500



3 SHADOW DIAGARAM - WINTER SOLSTICE - 10AM
1 : 500



6 SHADOW DIAGARAM - WINTER SOLSTICE - 1PM
1 : 500



9 SHADOW DIAGARAM - WINTER SOLSTICE - 4PM
1 : 500

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MOD1	10/12/24	ASC	For Information
Rev.	Date	Approved by	Revision Notes

Client
MR & MRS TAORO

Project Title
40 THOMAS STREET, PICNIC POINT

Drawing Title
SHADOW DIAGRAMS

LEGEND:
DIRECT SUNLIGHT TO LVING AREAS

Development Modification Application

Scale
1 : 500 @A3

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Project No.
A22005
Sheet No.
A5.01

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